

Energy Efficiency

Certificate of Compliance provided by others.
Energy Efficient Light Globes Used In This Home
In Compliance with BCA 3.12 & Queensland
Development Code - MP 4.1 'sustainable housing'.

BUILDING AREAS (m²)

Upper Level Living Area =	92.55 m ²
Lower Level Living Area =	71.30 m ²
Garage Area =	37.92 m ²
Alfresco Area =	12.00 m ²
Porch Area =	3.92 m ²
TOTAL AREA =	217.69 m²

WALL PERIMETER (lm)

LOWER LEVEL EXTERNAL WALL PERIMETER -	43.08 lm
UPPER LEVEL EXTERNAL WALL PERIMETER -	40.92 lm

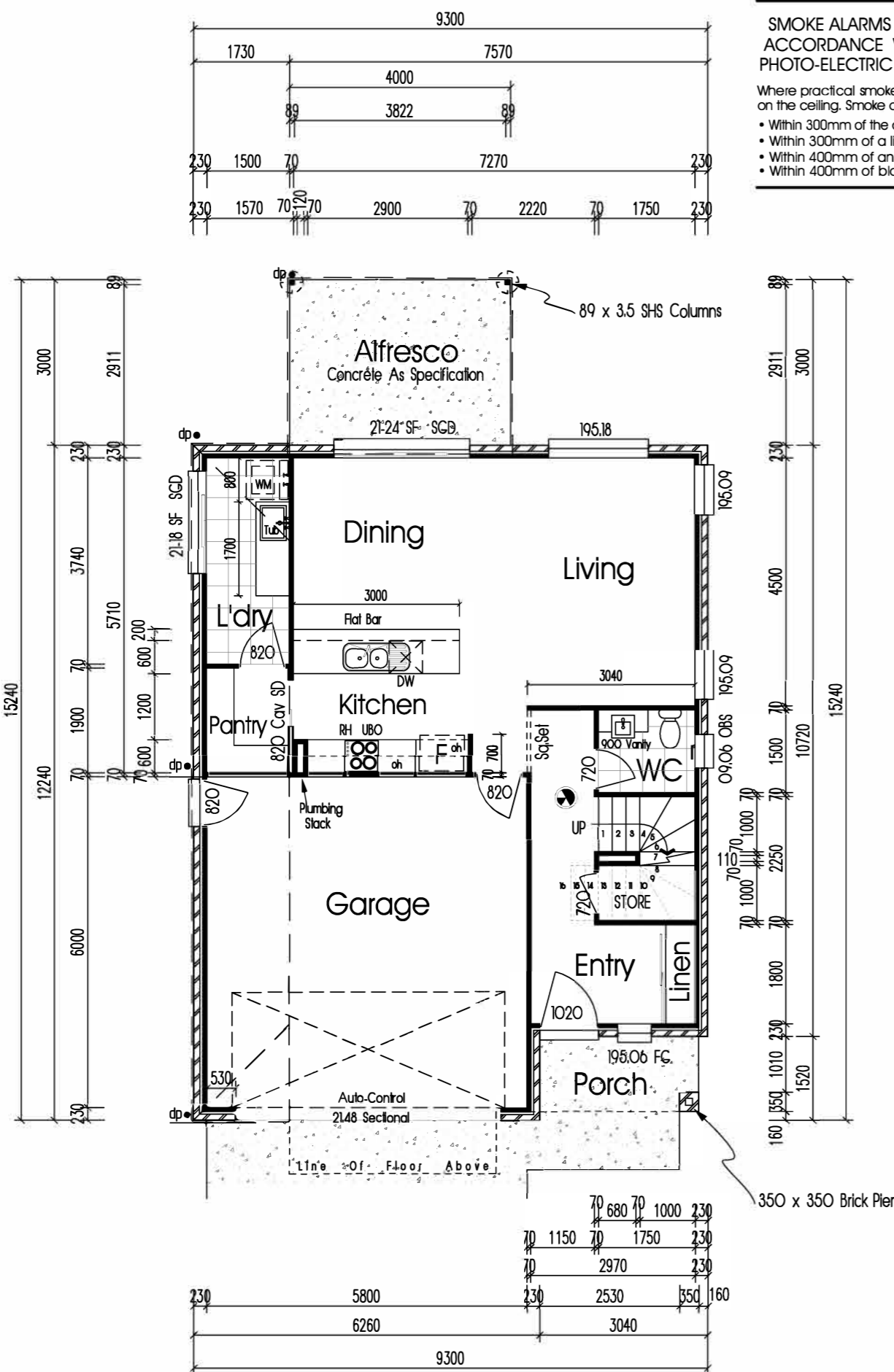
LEGEND

- | | | |
|-------------------------------|-------------------------------------|--------------------------------|
| AC - AIR CONDITIONER | HWS HOT WATER SYSTEM | SD - SLIDING DOOR |
| B - BROOM CUPBOARD | LC - LAUNDRY CHUTE | SGD - SLIDING GLASS DOOR |
| BW - BREEZEWAY | MB - METER BOX | SH - 4 Shelves |
| C'BD - CUPBOARD | MH - MANHOLE | Shr. - SHOWER |
| CSD - CAVITY SLIDING DOOR | MW - MICROWAVE PROVISION | SW - SLIDING GLASS WINDOW |
| DH - DOUBLE HUNG WINDOW | OBS - OBSCURE GLASS | t - TUB |
| dp - DOWN PIPE | oh - OVERHEAD CUPBOARD | UBO - UNDER BENCH OVEN |
| DW - DISHWASHER PROVISION | PV - PERMANENT VENT | V - VANITY BASIN |
| FG - FIXED GLASS | Ply - PANTRY | W.C. - WATER CLOSET |
| F.L. - FINISHED FLOOR LEVEL | RD - ROLLER DOOR | WM - WASHING MACHINE PROVISION |
| F.P.S. - FIXED PRIVACY SCREEN | F - FRIDGE and/or FREEZER PROVISION | WO - WALL OVEN |
| H - HOSE COCK | RH - RANGEHOOD | ● - SMOKE ALARM |
| HP - HOT PLATE | S - SINK | |

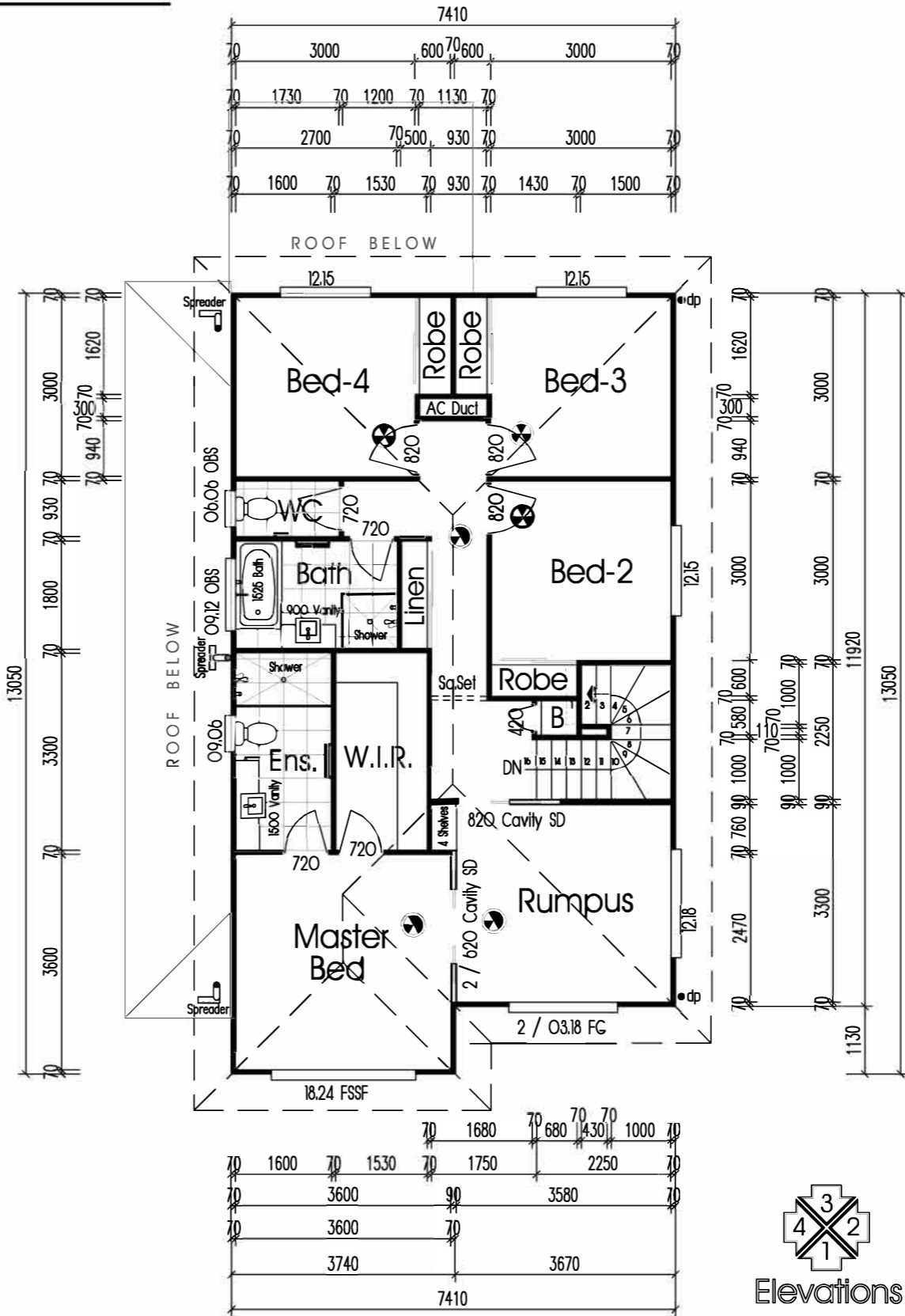
SMOKE ALARM NOTES:-

SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH A.S.3786-2014 PHOTO-ELECTRIC & INTERCONNECTED

- Where practical smoke alarms must be placed on the ceiling. Smoke alarms **MUST NOT** be placed:
- Within 300mm of the corner of a ceiling and a wall
 - Within 300mm of a light fitting
 - Within 400mm of an air-conditioning vent
 - Within 400mm of blades of a ceiling fan



Lower Level Floor Plan



Upper Level Floor Plan



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HOUSE DESIGN:
INDIVIDUAL - LH
CONTEMPORARY

1	As Shown	Original Issue
No.	DATE	AMENDMENT

THESE PLANS FORM PART OF OUR CONTRACT & DEVELOPMENT APPROVAL

CLIENT(s) - _____ (Signature) _____ (Signature)
Date - _____
BUILDER - _____ Date - _____

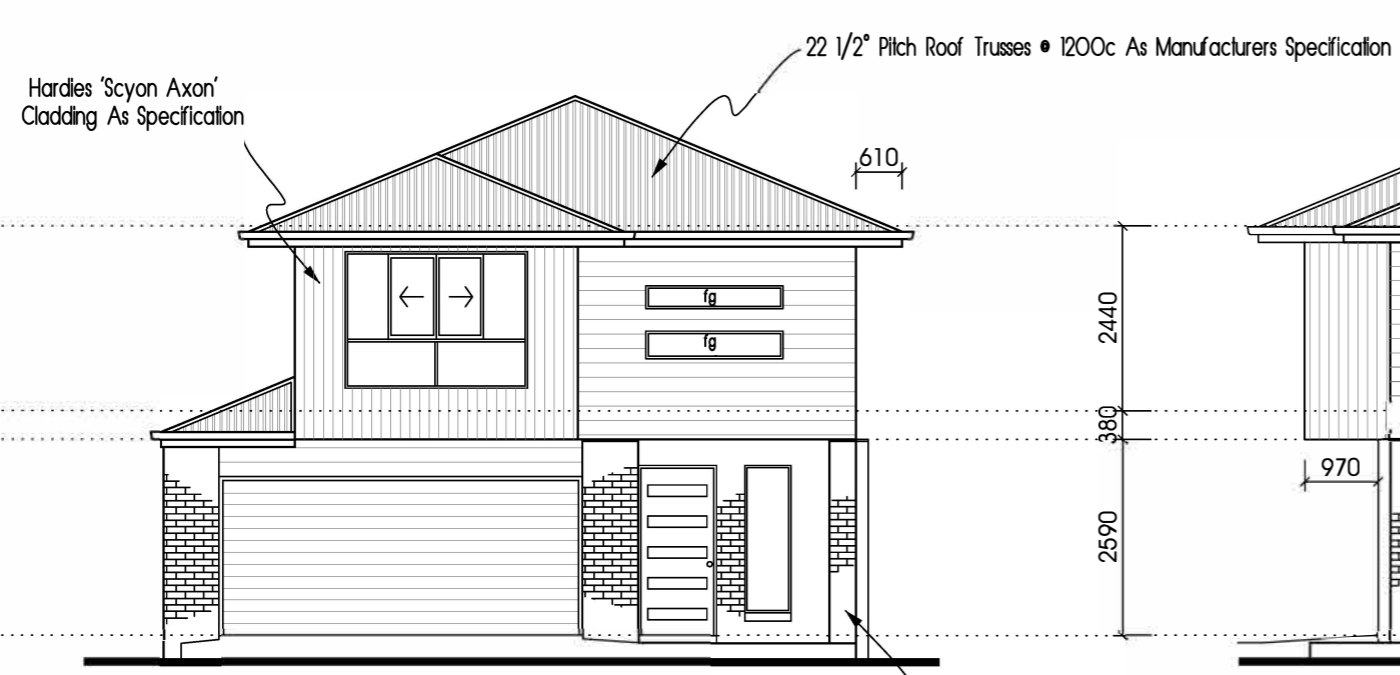
Real Property Description

Lot -	No	Drawn - PDV
Area -		Date - 22-10-2020
Parish -		Scale - 1:100

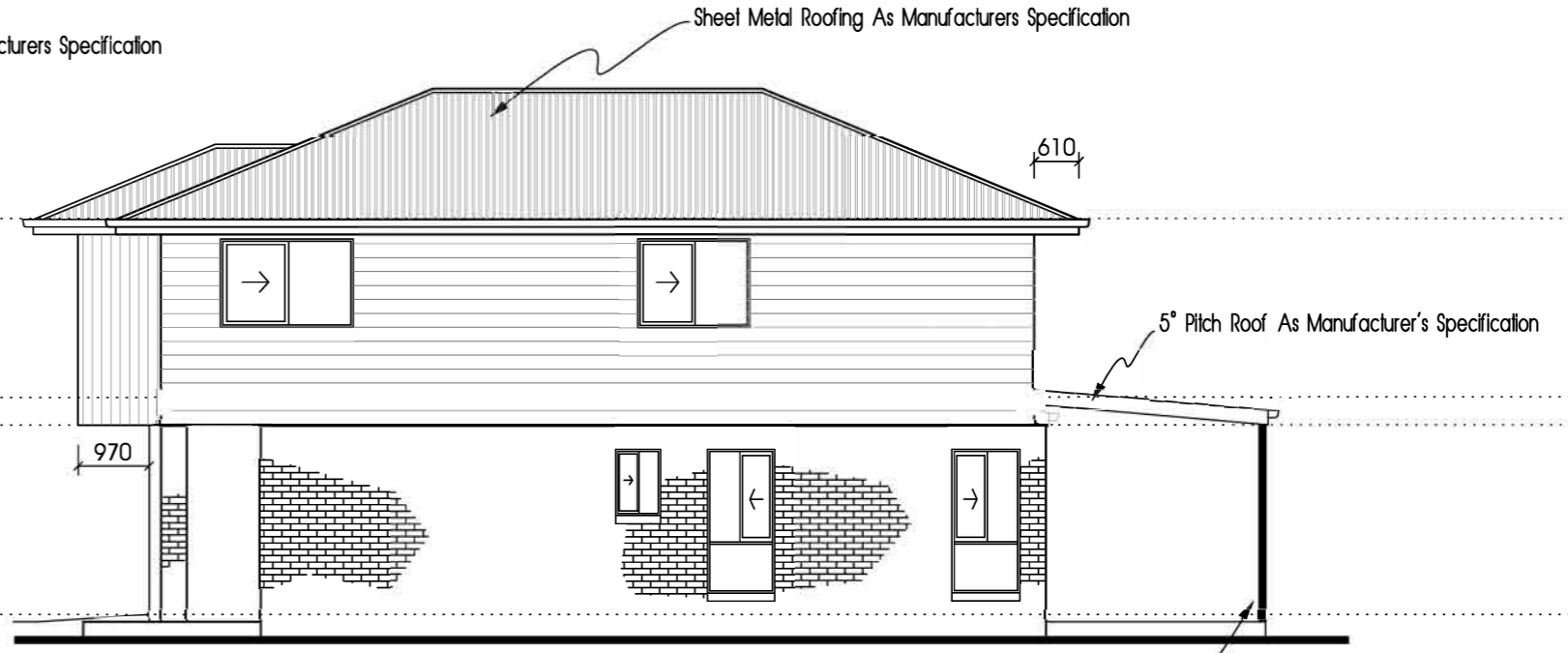
CLIENT - _____
PROJECT - _____

Callaway HOMES
QBCC Lic # 1095539
PO Box 321, BROWNS PLAINS QLD 4118
PH: 07 3802 7211 FAX: 07 3802 7212

Job No: 2020174 Page: 2



Elevation 1



Elevation 2



Elevation 3



Elevation 4

Callaway
HOMES

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PO Box 321, Browns Plains QLD 4118
PH: 07 3802 7211 FAX: 07 3802 7212

HOUSE DESIGN:	INDIVIDUAL - LH	FACADE:	CONTEMPORARY
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		1	As Shown
		2	Original Issue
		3	AMENDMENT

THESE PLANS FORM PART OF OUR CONTRACT & DEVELOPMENT APPROVAL

Date - _____ [SIGNATURE] _____ [SIGNATURE]

BUILDER - _____ [SIGNATURE] Date - _____

Real Property Description	Authority -
Lot -	
Plan No	Date -
Area -	Scale - 1:100
Parish -	JOB NO. -
County -	2020174
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