

LEGEND

- | | | |
|-------------------------------------|--------------------------|----------------------------|
| AC - AIR CONDITIONER | H - HOSE COCK | RD - ROLLER DOOR |
| B - BROOM CUPBOARD | HP - HOT PLATE | RH - RANGEHOOD |
| C'BD - CUPBOARD | HWS - HOT WATER SYSTEM | SD - SLIDING DOOR |
| CavSD - CAVITY SLIDING DOOR | LC - LAUNDRY CHUTE | SGD - SLIDING GLASS DOOR |
| DH - DOUBLE HUNG WINDOW | MB - METER BOX | SH - 4 Shelves |
| dp - DOWN PIPE | MH - MANHOLE | Shr - SHOWER |
| DW - DISHWASHER PROVISION | MW - MICROWAVE PROVISION | UBO - UNDER BENCH OVEN |
| F - FRIDGE and/or FREEZER PROVISION | OBS - OBSCURE GLASS | WC - WATER CLOSET |
| fg - FIXED GLASS | oh - OVERHEAD CUPBOARD | WM - WASHING MACHINE PROV. |
| FFL - FINISHED FLOOR LEVEL | PV - PERMANENT VENT | WO - WALL OVEN |
| F.P.S. - FIXED PRIVACY SCREEN | Ply - PANTRY | ☼ - SMOKE ALARM |

GENERAL NOTES

- This document is based on information provided by the builder.
- These drawings shall be read in conjunction with all other Consultants drawings and Specifications.
- All information contained is subject to change in line with local authority requirements and further detailed planning. Whilst all care and consideration has been taken in the preparation of the information contained in this document, no responsibility is accepted for any inadvertent errors or omissions.
- Before proceeding with the works any discrepancies in the drawings shall be referred for decision to the author.
- Setting out dimensions and sizes of structural members or elements shall not be obtained by scaling the structural drawings. Figure dimensions take precedence to scaled dimensions.
- Internal dimensions between wall framing do not include the allowance for lining thicknesses; External wall dimensions do not include allowance for cladding thickness.
- Any setting out dimensions shown on the drawings shall be checked by the contractor before construction work commences.
- During construction, the structure shall be maintained in a stable condition. Construction loads must not exceed the capacity of the structure at the time of loading. If in doubt ask.
- Lintels under all gable trusses shall be checked by truss supplier.
- Angled walls shall be @ 45° unless noted otherwise.
- WIND classification :- W.33 (N2)

BUILDING & DESIGN

- Building regulatory as per the Queensland 'Building Act 1975' and 'Queensland Building Regulation 2006'.
- Structural Sufficiency, safety, health and amenity shall be achieved in accordance with the Building Code of Australia;
- Timber framing shall be designed and constructed in accordance with A.S.1684.2 & A.S.1684.4 - Non-cyclonic areas A.S.1684.3 - Cyclonic areas.
- Smoke alarms to comply with NCC 3.7.5, AS3786-2014 and Building Regulation 2006 Part 3.a.
- Gas bottle / HWS location in accordance with AS 5601.
- Install Lift-Off hinges to W/C door/s to comply with NCC, section 3.8.3
- Wet areas within a building (bathroom, showers, laundries and toilets) must be waterproofed in accordance with NCC 3.8.1.2 and AS 3740. An approved installation certificate by a licensed Waterproofer must be supplied to the certifier prior to the final certificate being issued. *Note: timber floors are not considered water resistant or water proof materials.
- Mechanical ventilation complying with NCC 3.8.5 & 3.8.7.3 and AS 1668.2 shall be installed to toilets, bathrooms and laundries that do not have operable openings. Minimum flow rate and discharge for exhaust systems to be 25L/s for bathrooms or WC and 40L/s for kitchen or L'dry. WC & L'dry compartments must be discharged either directly via a shaft or duct externally or to a ventilated roof space (in accordance with NCC 3.8.7.4.)
- Dwelling to comply with the Queensland Development Code (QDC) - MP 4.1 'Sustainable Housing'.
- All Workmanship and materials shall be in accordance with the requirements of the current editions, including Amendments, of the relevant SAA Codes, except as varied by the Contract Documents and of the By-laws of the Local Government Authority.

SMOKE ALARM NOTES:-

SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH A.S.3786-2014 PHOTO-ELECTRIC & INTERCONNECTED

- Where practical smoke alarms must be placed on the ceiling. Smoke alarms **MUST NOT** be placed:
- Within 300mm of the corner of a ceiling and a wall
 - Within 300mm of a light fitting
 - Within 400mm of an air-conditioning vent
 - Within 400mm of blades of a ceiling fan

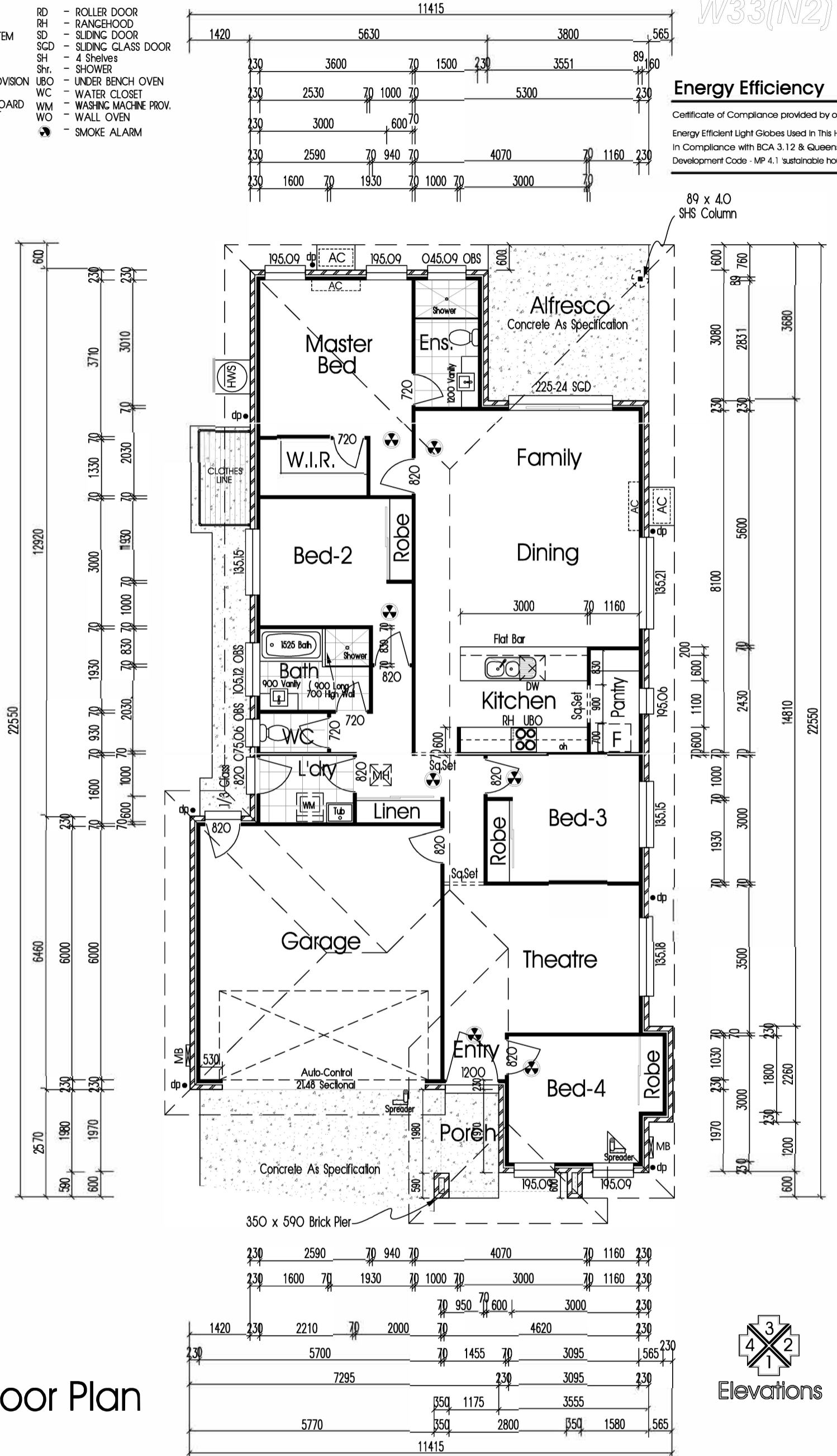
BUILDING AREAS (m²)

Living Area =	151.44 m ²
Garage Area =	37.27 m ²
Alfresco Area =	13.98 m ²
Porch Area =	4.89 m ²
Total Area =	207.58 m²

WALL PERIMETER (lm)

EXTERNAL WALL PERIMETER - 66.73 lm

Floor Plan



Wind Classification
W33(N2)

Energy Efficiency

Certificate of Compliance provided by others.
Energy Efficient Light Globes Used In This Home
In Compliance with BCA 3.12 & Queensland Development Code - MP 4.1 'sustainable housing'.

89 x 4.0 SHS Column



Elevations

PAUL VENOUR
BUILDING DESIGNER

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No.	As Shown	Original Issue
1	DATE	AMENDMENT

CLIENT -

THESE PLANS FORM PART OF OUR CONTRACT & DEVELOPMENT APPROVAL

CLIENT(s) - [SIGNATURE] [SIGNATURE]

Date -

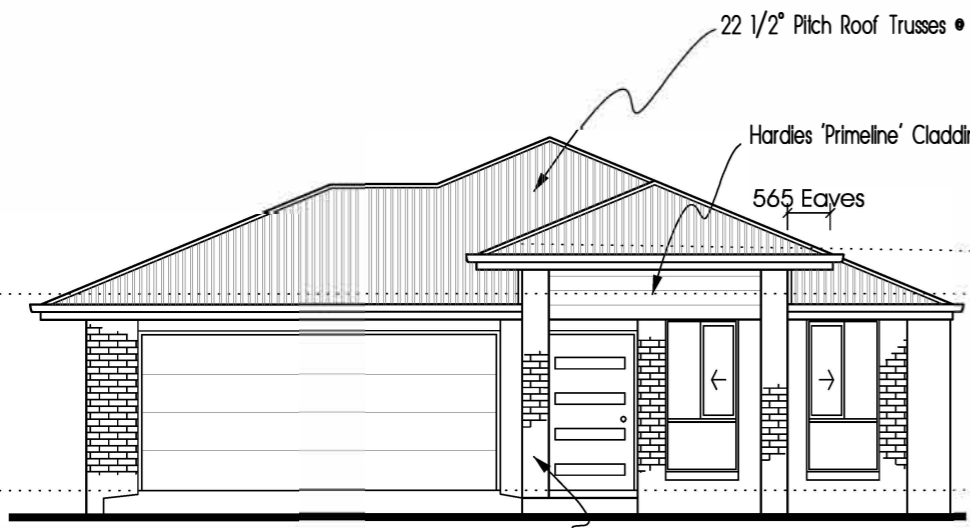
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Area - County - Date - Scale -

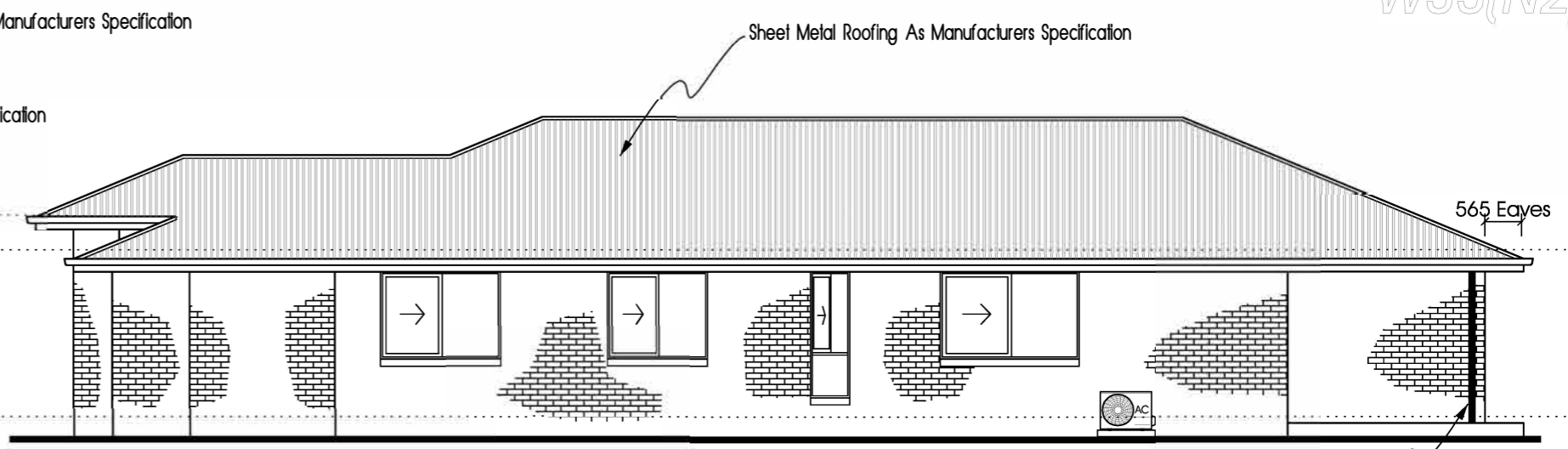


QBCC Lic # 1095539
PO Box 321, BROWNS PLAINS QLD 4118
PH: 07 3802 7211 FAX: 07 3802 7212

Job No. 2020168 Page



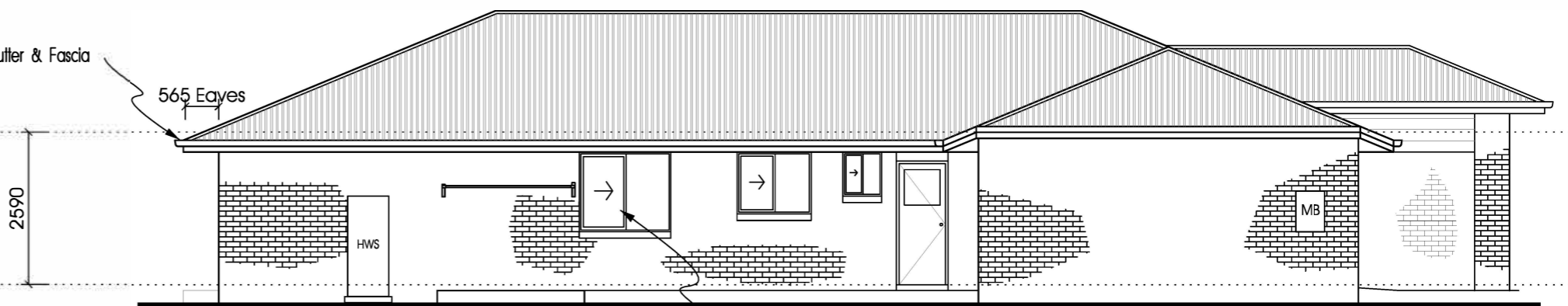
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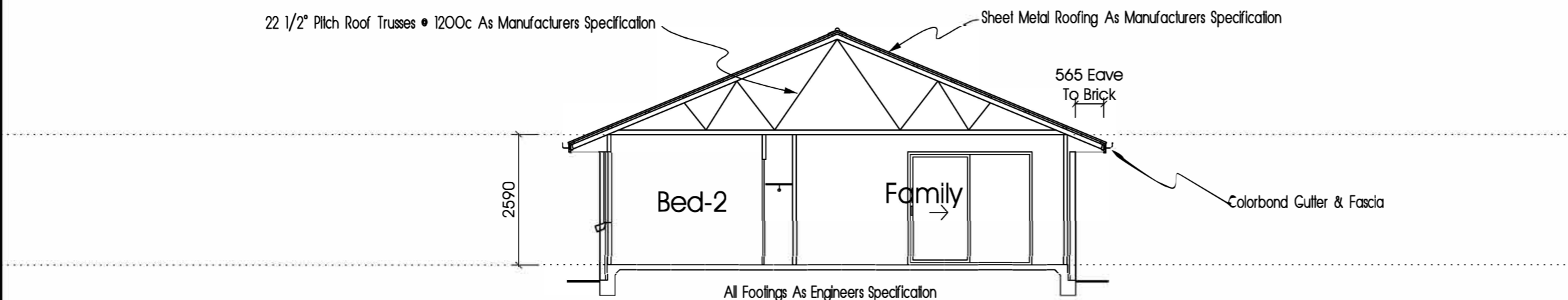
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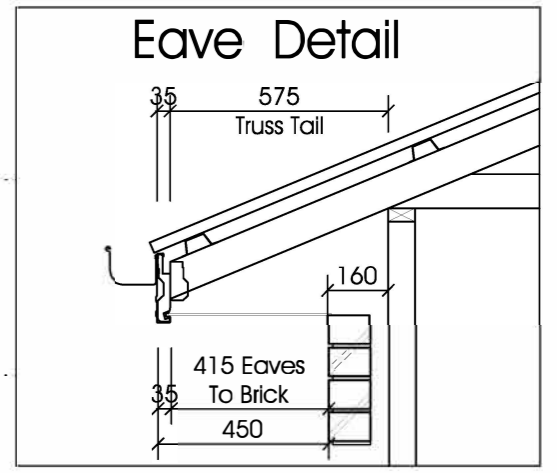
Elevation 3



Elevation 4



Typical Section Detail



Callaway HOMES
QBCC Lic # 1095539
PO Box 321, BROWNS PLAINS QLD 4118
Ph: 07 3802 7211 FAX: 07 3802 7212

HOUSE DESIGN:	FACADE: CONTEMPORARY						
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Date - _____

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Lot -	Drawn -
Plan No	Date -
Area -	Scale - 1:100
Parish - Moffat	JOB NO. - 2020168
County	Page