

# Energy Efficiency

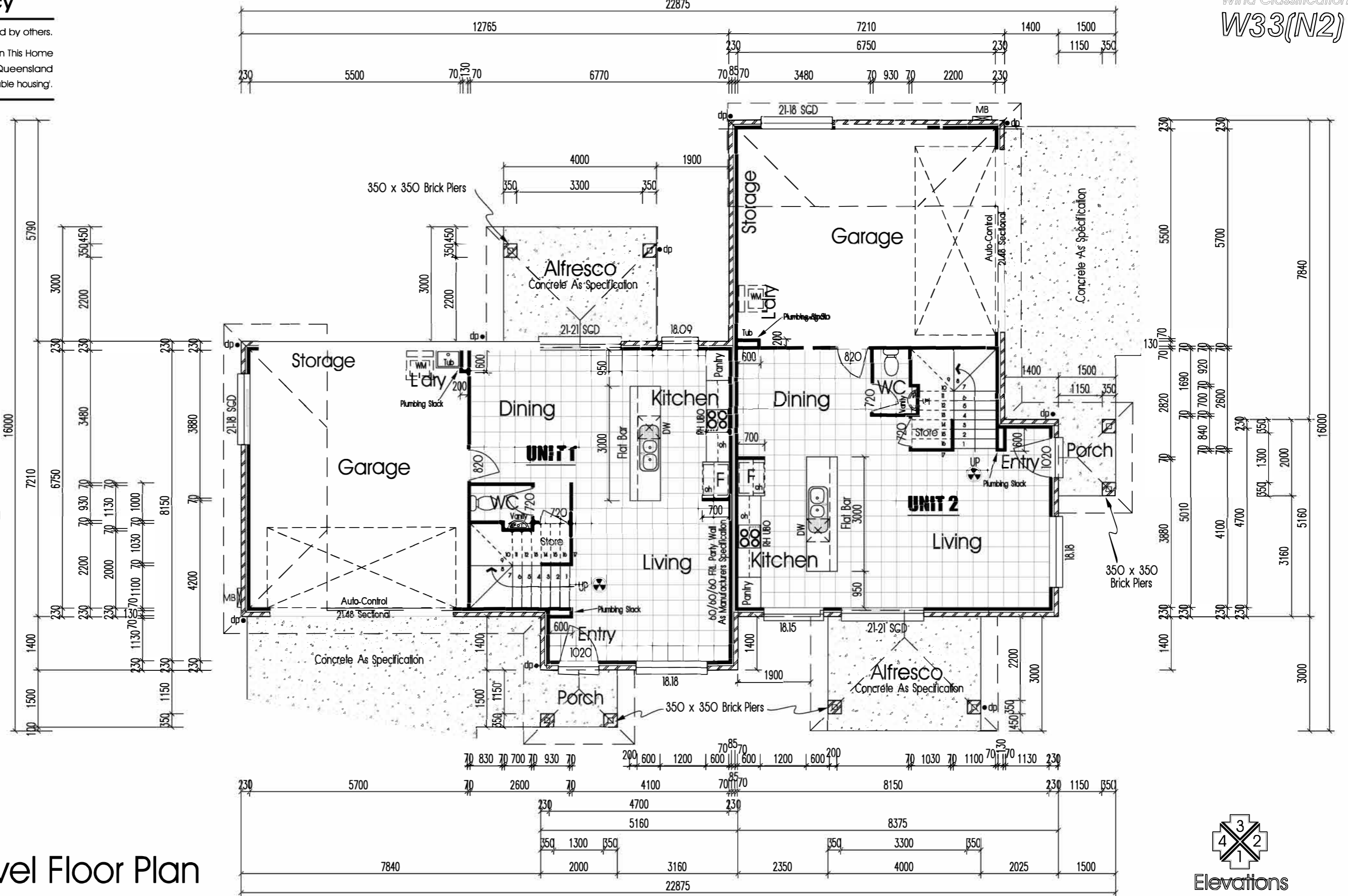
Certificate of Compliance provided by others.

Energy Efficient Light Globes Used In This Home  
In Compliance with BCA 3.12 & Queensland  
Development Code - MP 4.1 'sustainable housing'.

Wind Classification  
**W33(N2)**

## LEGEND

- AC - AIR CONDITIONER
- B - BROOM CUPBOARD
- C'BD - CUPBOARD
- CavSD - CAVITY SLIDING DOOR
- DH - DOUBLE HUNG WINDOW
- dp - DOWN PIPE
- DW - DISHWASHER PROVISION
- F - FRIDGE and/or FREEZER PROVISION
- fg - FIXED GLASS
- FFL - FINISHED FLOOR LEVEL
- F.P.S. - FIXED PRIVACY SCREEN
- H - HOSE COCK
- HP - HOT PLATE
- HWS - HOT WATER SYSTEM
- LC - LAUNDRY CHUTE
- MB - METER BOX
- MH - MANHOLE
- MW - MICROWAVE PROVISION
- OBS - OBSCURE GLASS
- oh - OVERHEAD CUPBOARD
- PV - PERMANENT VENT
- Ply - PANTRY
- RD - ROLLER DOOR
- RH - RANGEHOOD
- SD - SLIDING DOOR
- SGD - SLIDING GLASS DOOR
- SH - 4 Shelves
- Shr. - SHOWER
- UBO - UNDER BENCH OVEN
- WC - WATER CLOSET
- WM - WASHING MACHINE PROVISION
- WO - WALL OVEN
- ☉ - SMOKE DETECTOR



# Lower Level Floor Plan



Callaway  
HOMES

QBCC Lic # 1095539  
PO Box 321, Browns Plains QLD 4118  
PH: 07 3802 7211 FAX: 07 3802 7212

HOUSE DESIGN:	INDIVIDUAL DUPLEX
CLIENT - PROJECT -	

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Date -	Date -
BUILDER -	(SIGNATURE)

Authority - Ipswich C.C.	Lot -	Drawn - PDV
Plan No	Date	Scale - 1:100
Area -	Parish -	Job No. -
County - Stanley		<b>2018272</b>
		Page <b>2</b>

# GENERAL NOTES

- This document is based on information provided by the builder.
- These drawings shall be read in conjunction with all other Consultants drawings and Specifications.
- All information contained is subject to change in line with local authority requirements and further detailed planning. Whilst all care and consideration has been taken in the preparation of the information contained in this document, no responsibility is accepted for any inadvertent errors or omissions.
- Before proceeding with the works any discrepancies in the drawings shall be referred for decision to the author.
- Settling out dimensions and sizes of structural members or elements shall not be obtained by scaling the structural drawings. Figure dimensions take precedence to scaled dimensions.
- Internal dimensions between wall framing do not include the allowance for lining thicknesses; External wall dimensions do not include allowance for cladding thickness.
- Any settling out dimensions shown on the drawings shall be checked by the contractor before construction work commences.
- During construction, the structure shall be maintained in a stable condition. Construction loads must not exceed the capacity of the structure at the time of loading. If in doubt ask.
- Lintels under all girder trusses shall be checked by truss supplier.
- Angled walls shall be @ 45° unless noted otherwise.
- WIND classification :- W.33 (N2)

# BUILDING & DESIGN

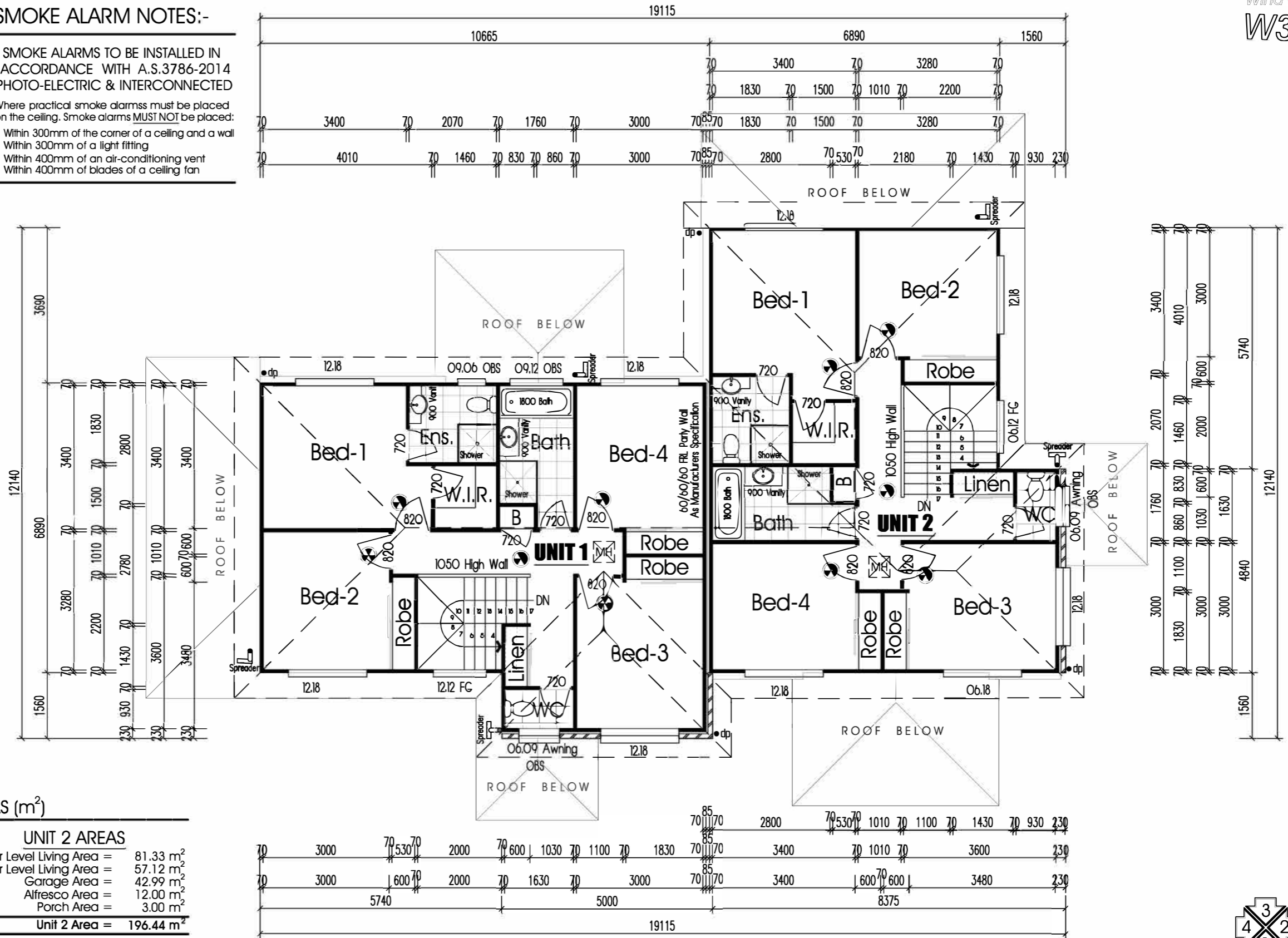
- Building regulatory as per the Queensland Building Act 1975 and Queensland Building Regulation 2006.
- Structural Sufficiency, safety, health and amenity shall be achieved in accordance with the Building Code of Australia;
- Timber framing shall be designed and constructed in accordance with A.S.1684.2 & A.S.1684.4 - Non-cyclonic areas A.S.1684.3 - Cyclonic areas.
- Smoke alarms to comply with BCA 3.7.2, AS3786-2014 and Building Regulation 2006 Part 3.a.
- Gas bottle / HWS location in accordance with AS 5601.
- Install Lift-Off hinges to W/C door/s to comply with BCA, section 3.8.3
- Wet areas within a building (bathroom, showers, laundries and toilets) must be waterproofed in accordance with BCA 3.8.1.2 and AS 3740. An approved installation certificate by a BSA licensed Waterproofer must be supplied to the certifier prior to the final certificate being issued. \*Note: timber floors are not considered water resistant or water proof materials.
- Mechanical ventilation complying with BCA 3.8.5 & AS 1668.2 shall be installed to toilets, bathrooms and laundries that do not have openable openings.
- Dwelling to comply with the Queensland Development Code (QDC) - MP 4.1 'Sustainable Housing'.
- All Workmanship and materials shall be in accordance with the requirements of the current editions, including Amendments, of the relevant SAA Codes, except as varied by the Contract Documents and of the By-laws of the Local Government Authority.

# SMOKE ALARM NOTES:-

## SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH A.S.3786-2014 PHOTO-ELECTRIC & INTERCONNECTED

- Where practical smoke alarms must be placed on the ceiling. Smoke alarms MUST NOT be placed:
- Within 300mm of the corner of a ceiling and a wall
  - Within 300mm of a light fitting
  - Within 400mm of an air-conditioning vent
  - Within 400mm of blades of a ceiling fan

Wind Classification  
**W33(N2)**



### BUILDING AREAS (m<sup>2</sup>)

UNIT 1 AREAS		UNIT 2 AREAS	
Upper Level Living Area =	80.99 m <sup>2</sup>	Upper Level Living Area =	81.33 m <sup>2</sup>
Lower Level Living Area =	57.10 m <sup>2</sup>	Lower Level Living Area =	57.12 m <sup>2</sup>
Garage Area =	43.01 m <sup>2</sup>	Garage Area =	42.99 m <sup>2</sup>
Alfresco Area =	12.00 m <sup>2</sup>	Alfresco Area =	12.00 m <sup>2</sup>
Porch Area =	3.00 m <sup>2</sup>	Porch Area =	3.00 m <sup>2</sup>
<b>Unit 1 Area =</b>	<b>196.10 m<sup>2</sup></b>	<b>Unit 2 Area =</b>	<b>196.44 m<sup>2</sup></b>
<b>TOTAL AREA = 392.54 m<sup>2</sup></b>			

### WALL PERIMETER (Im)

LOWER LEVEL EXTERNAL WALL PERIMETER -	71.55 Im	UPPER LEVEL EXTERNAL WALL PERIMETER -	62.51 Im
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# Upper Level Floor Plan

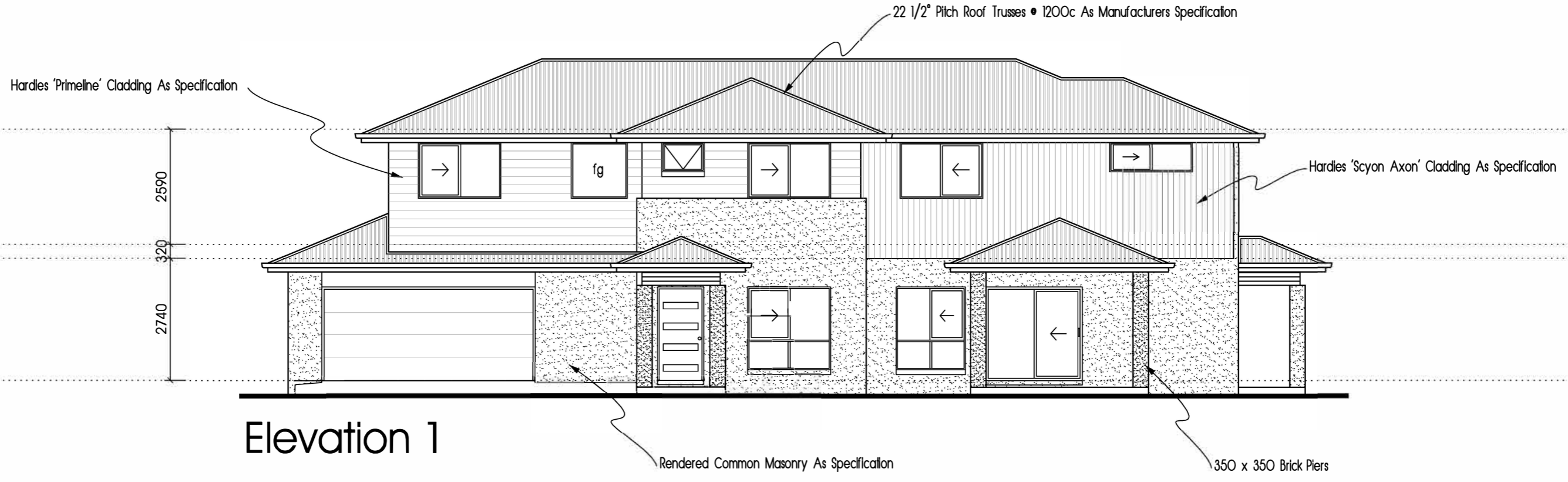


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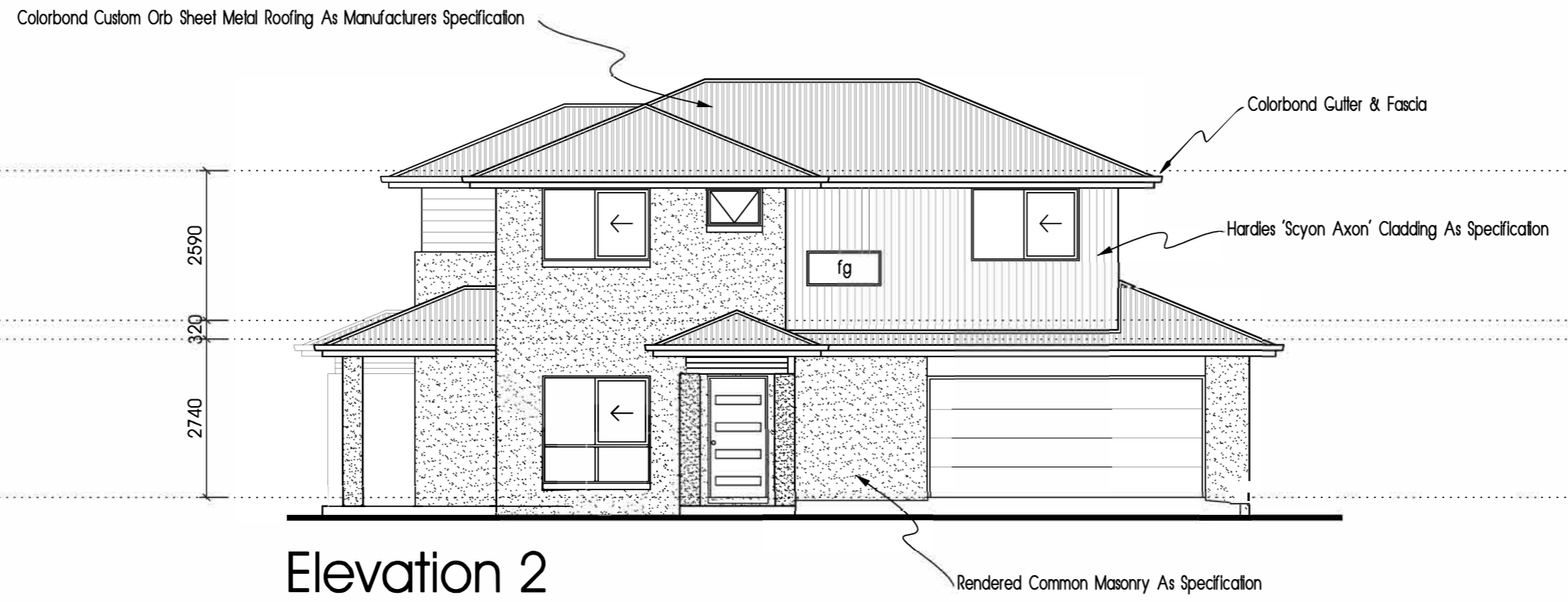
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Real Property Description  
Lot -  
Plan No  
Area -  
Parish -  
County -

Authority - Ipswich C.C.  
Drawn - PDV  
Date - 01-08-2019  
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JOB NO. - 2018272  
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Elevation 1



Elevation 2

**Callaway**  
HOMES

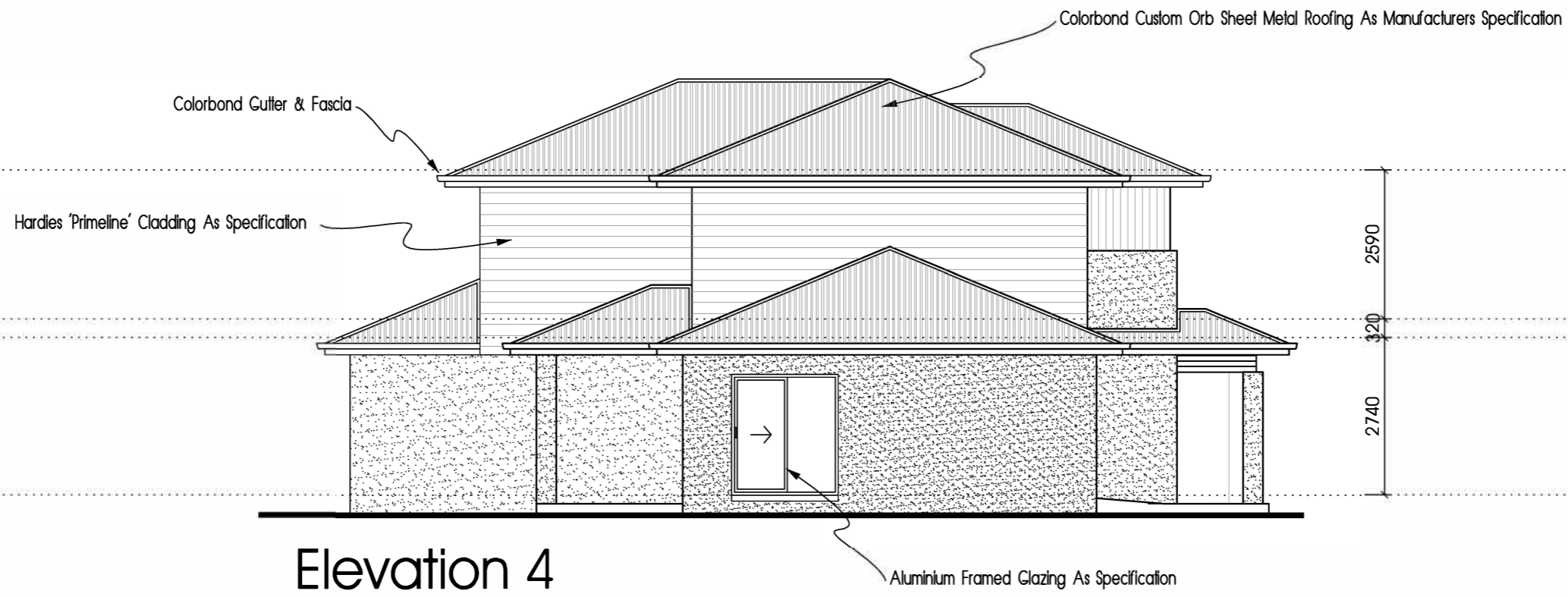
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Plan No -	Date - 01-08-2019
Area -	Scale - 1:100
Parish -	JOB NO. -
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Date - \_\_\_\_\_

BUILDER - \_\_\_\_\_ [SIGNATURE] Date - \_\_\_\_\_

<b>Real Property Description</b>	Authority - Ipswich C.C.
Lot - 2704 (#11)	Drawn - PDV
Plan No - SP 297531	Date - 01-08-2019
Area - 634m <sup>2</sup>	Scale - 1:100
Parish - Stapylton	JOB NO. -
County - Stanley	<b>2018272</b>
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